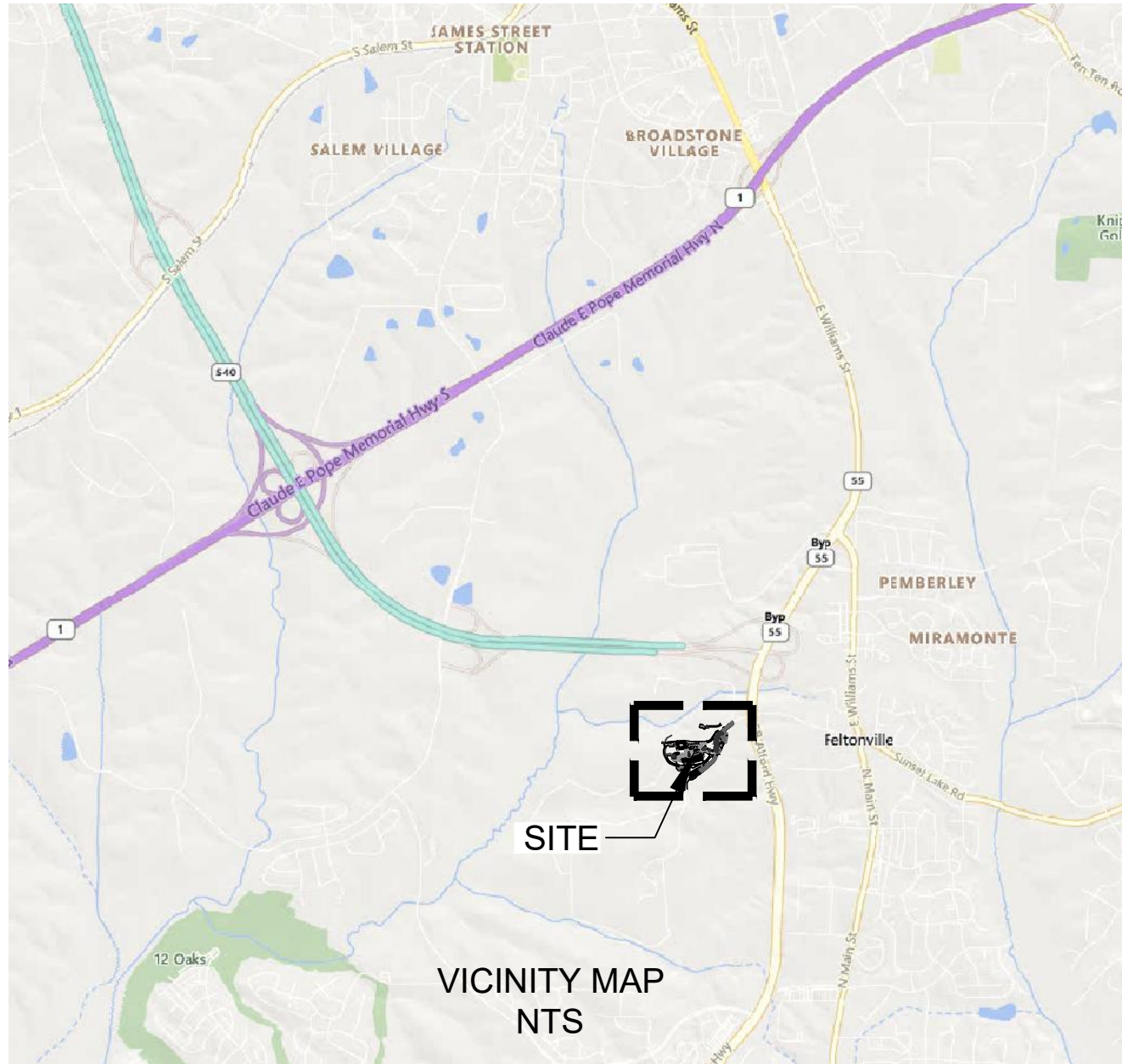


EXEMPT SITE PLAN DRAWINGS FOR:  
**SOUTH WAKE LANDFILL**  
ENTRANCE IMPROVEMENTS

6300 OLD SMITHFIELD ROAD, APEX, NC



**SITE DATA:**

WAKE CO. PIN: 0740437240  
ADDRESS: 6300 OLD SMITHFIELD ROAD, APEX, NC  
ZONING: LI (CONDITIONAL USE)  
ACREAGE: 145.3 ACRES

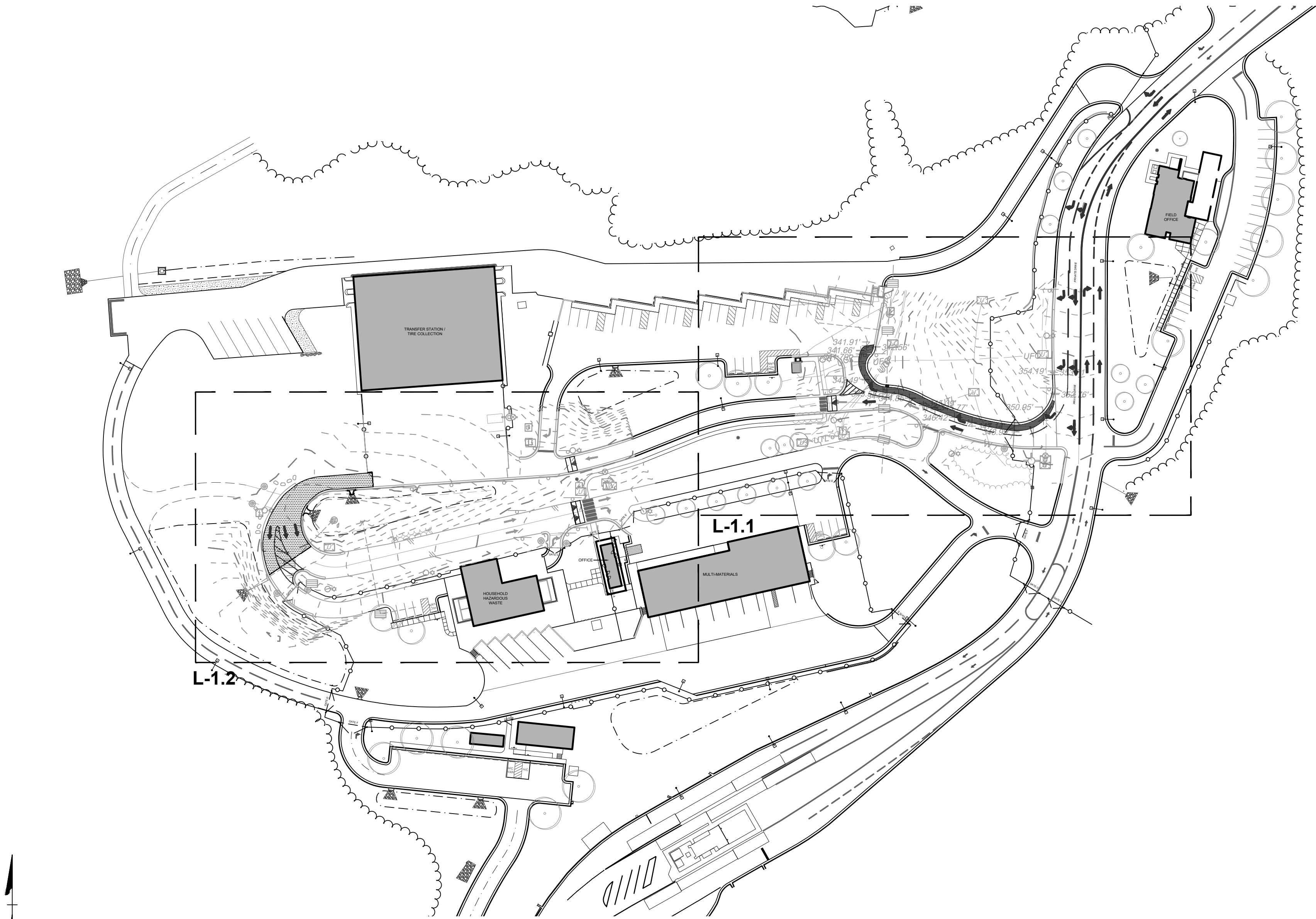
WATERSHED OVERLAY: SECONDARY WATERSHED AREA  
RIVER BASIN: CAPE FEAR  
GRADING TYPE: STAGED  
TOTAL DISTURBED AREA: 0.08 ACRE (3,402 SF)  
NCDEQ EROSION CONTROL: NOT REQUIRED (DISTURBANCE < 1 AC)

FEMA FIRM PANEL: 3720074000K, EFFECTIVE 7/19/22, ZONE X

TOTAL EXISTING BUILT UPON AREA: 13 AC (8.9%)  
PROPOSED NEW BUILT UPON AREA: 0.04 AC (1,701 SF)  
PROPOSED TOTAL BUILT UPON AREA: 13.04 AC (8.97%)  
ALLOWED BUILT UPON AREA (UDO 6.1.6-B) : 17.4 AC / 12%

**DRAWING INDEX:**

- L-0.0 COVERSHEET
- L-1.0 SITE OVERALL - EXISTING CONDITIONS
- L-1.1 ENTRANCE - EXISTING CONDITIONS
- L-1.2 WEST - EXISTING CONDITIONS
- L-2.0 SITE OVERALL - EROSION CONTROL AND DEMOLITION PLAN
- L-2.1 ENTRANCE - EROSION CONTROL AND DEMOLITION PLAN
- L-2.2 WEST - EROSION CONTROL AND DEMOLITION PLAN
- L-3.0 SITE OVERALL - GRADING AND SITE PLAN
- L-3.1 ENTRANCE - GRADING AND SITE PLAN
- L-3.2 WEST - GRADING AND SITE PLAN
- L-4.0 EROSION CONTROL DETAILS
- L-4.1 SITE DETAILS



**PROJECT TEAM:**

OWNER/DEVELOPER  
PAULO LOPEZ  
WAKE COUNTY FACILITIES DESIGN AND CONSTRUCTION  
336 FAYETTEVILLE ST, SUITE 1115  
RALEIGH, NC 27601  
(919) 856-6351

**APPLICANT/LANDSCAPE ARCHITECT**

CALEB J. ROBINSON, PLA  
TIMMONS GROUP  
5410 TRINITY ROAD. STE. 102  
RALEIGH, NC 27607  
(919) 532-3269

SURVEY PROVIDED BY TIMMONS GROUP. AREAS OUTSIDE OF SURVEYED LIMITS PROVIDED BY OTHERS.

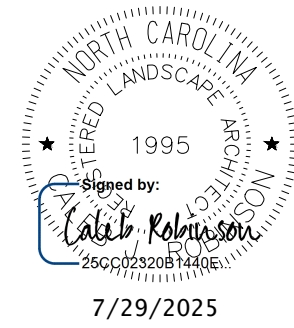
DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SUPERCEDE MEASURED DIMENSIONS.



STORMWATER NOTE: THIS PROJECT MEETS LOW DENSITY DEVELOPMENT THRESHOLDS AND IS EXEMPT FROM PROVIDING ANY ADDITIONAL STRUCTURAL STORMWATER CONTROL MEASURES.

NOTE TO CONTRACTOR: COORDINATE ALL DEMOLITION, CONSTRUCTION, STRIPING AND GATE/FENCE WORK WITH ON-SITE OPERATIONS STAFF TO MAINTAIN OPEN FACILITIES DURING NORMAL OPERATING HOURS.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF APEX, NCDEQ, AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.



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SOUTH WAKE LANDFILL- ENTRANCE IMPROVEMENTS

TOWN OF APEX  
COVERSHEET

JOB NO.  
69807

SHEET NO.  
L-0.0

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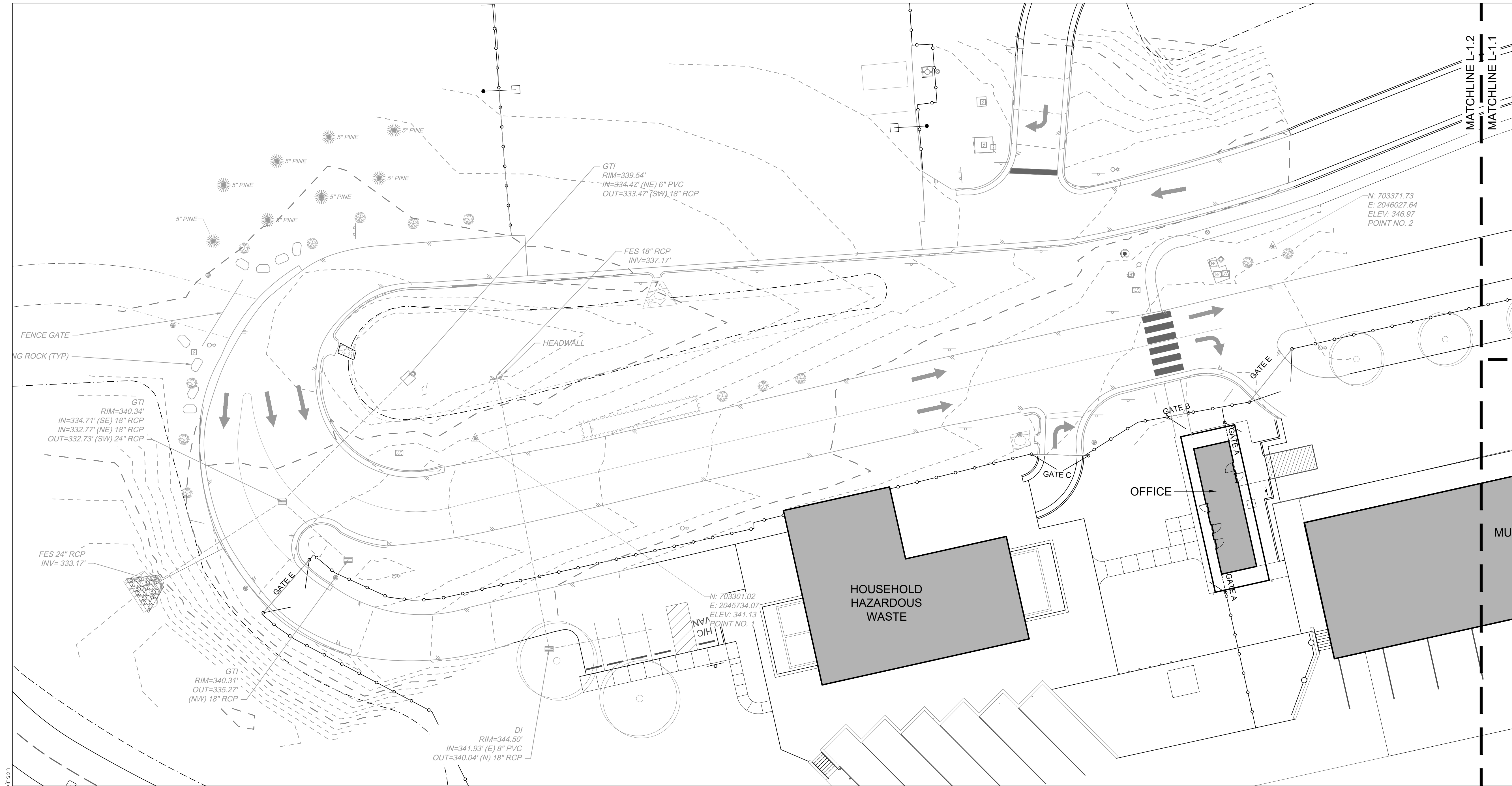








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**Abbreviations Legend**

DB - Deed Book  
ELEV. - Elevation  
PG - Page  
PIN - Parcel Identification Marker  
REID - Real Estate Identification Number  
BM - Book of Maps

**Legend**

CMF - Concrete Monument Found  
(S) - Manhole Sewer  
Sign  
Water Valve  
Fire Hydrant  
Light Pole  
Drainage Structure  
Gas Test Location  
Gas Meter  
Gas Valve  
Bollard  
Monitoring Well  
Guy  
Tree  
Utility Vault  
Traffic Signal Box  
Traffic Signal Pole

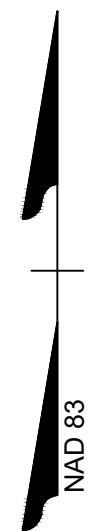
12" SAN - Surveyed Property Line  
X - Sanitary Sewer Line  
G - Fence  
UGP - Painted Gas Line  
UGP - Painted Power Line  
UGP - Storm Line  
UGT - Painted Telephone Line  
W - Painted Water Line  
UFO - Edge of Tree Line  
UFO - Painted Fiber Optic Line  
UCATV - Painted Cable TV Line  
Edge of Pavement  
Curb and Gutter  
Major Contour  
Minor Contour  
Edge of Gravel

SURVEY PROVIDED BY TIMMONS GROUP. AREAS OUTSIDE OF SURVEYED LIMITS PROVIDED BY OTHERS.

DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SUPERCEDE MEASURED DIMENSIONS.



SCALE 1"=20'  
0 20' 40'



**TIMMONS GROUP**

**SOUTH WAKE LANDFILL- ENTRANCE IMPROVEMENTS**

**TOWN OF APEX  
WEST - EXISTING CONDITIONS**

JOB NO.  
**69807**  
SHEET NO.  
**L-1.2**

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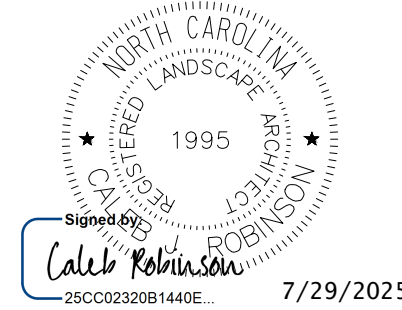
DATE  
4/10/2025

DRAWN BY  
JM

DESIGNED BY  
JM

CHECKED BY  
CR

SCALE  
AS SHOWN

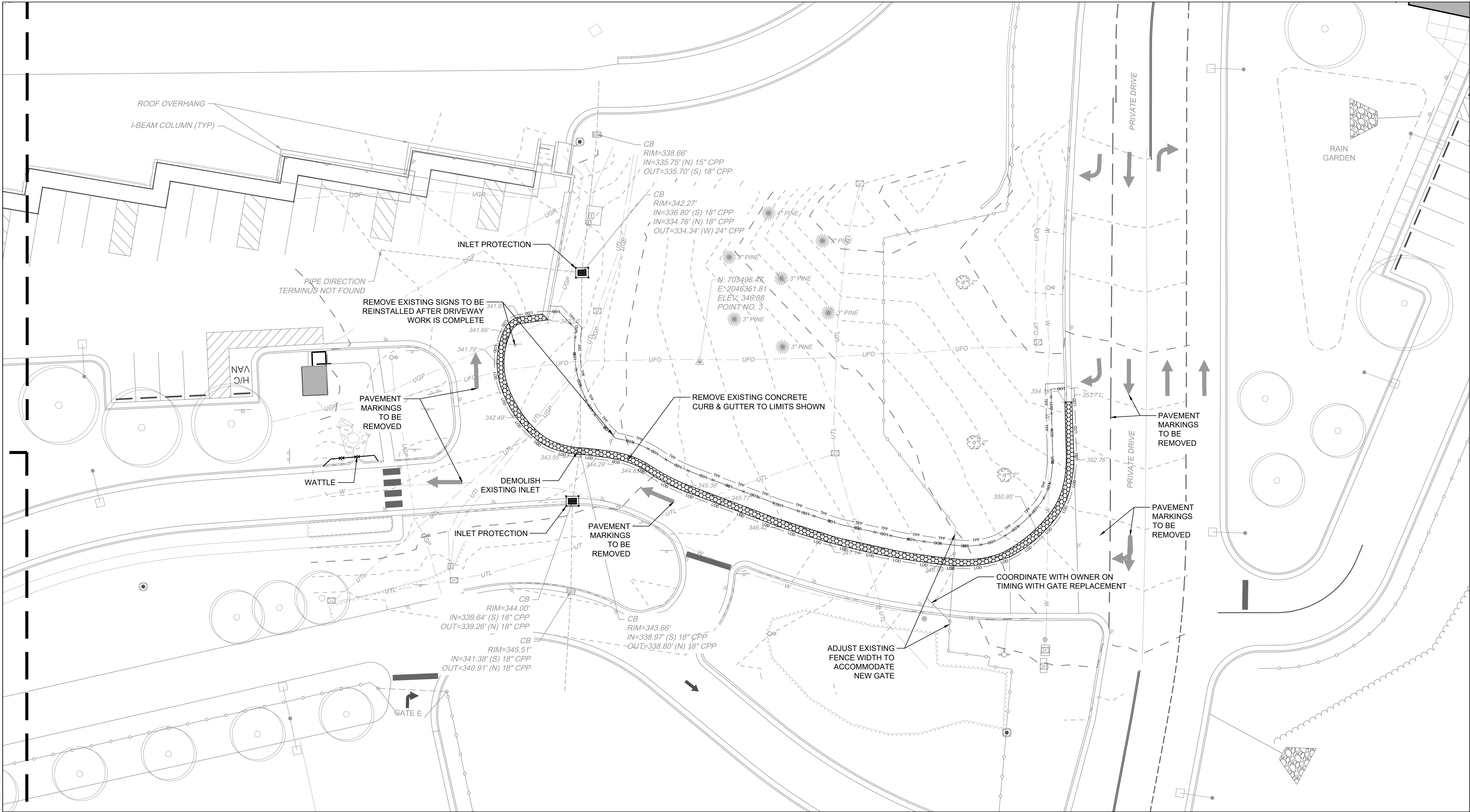








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**Abbreviations Legend**

DB - Dead Book  
ELEV - Elevation  
PG - Page  
PIN - Parcel Identification Marker  
RED - Real Estate Identification Number  
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**Legend**

CMF - Concrete Monument Found  
Manhole Sewer  
Sign  
Water Valve  
Fire Hydrant  
Light Pole  
Drainage Structure  
Gas Test Location  
Gas Meter  
Gas Valve  
Bollard  
Monitoring Well  
Guy  
Tree  
Utility Vault  
Traffic Signal Box  
Traffic Signal Pole

12" SAN - Sanitary Sewer Line  
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UCATV - Painted Cable TV Line  
Edge of Pavement  
Curb and Gutter  
Major Contour  
Minor Contour  
Edge of Gravel

**LEGEND**

ASPHALT TO BE MILLED  
CURB AND GUTTER TO BE REMOVED  
SILT FENCE OUTLET  
INLET PROTECTION  
TREE PROTECTION FENCE  
SILT FENCE  
LIMITS OF DISTURBANCE  
WATTLE

DENUDED AREA: 3,402 SF

**GENERAL DEMOLITION NOTES:**

- BEFORE YOU DIG, STOP, CALL THE NC ONE-CALL CENTER AT 1-800-632-4949.
- CONTRACTOR IS RESPONSIBLE FOR CALLING A UTILITY LOCATING SERVICE AND HAVING ALL EXISTING UTILITIES LOCATED PRIOR TO BEGINNING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITY AS SHOWN IS APPROXIMATE ONLY; UTILITIES MAY EXIST WHICH ARE NOT SHOWN. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL PUBLIC OR PRIVATE UTILITIES WHICH LIE IN OR ADJACENT TO THE CONSTRUCTION SITE WITHIN THE LIMITS OF ANY GRADING OR EXCAVATION.
- ALL UTILITIES NOT NOTED FOR REMOVAL TO BE PROTECTED THROUGHOUT CONSTRUCTION.
- PRIOR TO BEGINNING DEMOLITION CONTRACTOR SHOULD INSTALL REQUIRED EROSION CONTROL DEVICES.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ANY NECESSARY TRAFFIC CONTROL AND TRAFFIC CONTROL IS TO MEET REQUIREMENTS OF THE TOWN OF APEX.
- TEMPORARY MEASURES MUST BE IN PLACE FOR ANY TRAFFIC RELATED SIGNS TEMPORARILY REMOVED AT ANY DURATION THROUGHOUT CONSTRUCTION. NON-TRAFFIC RELATED SIGNAGE MUST BE RETAINED AFTER REMOVAL FOR REINSTALLATION AT OWNER'S DIRECTION.
- ALL WORK IS TO BE DONE TO THE TOWN OF APEX STANDARDS AND SPECIFICATIONS.
- ITEMS NOT NOTED FOR REMOVAL SHALL BE PROTECTED THROUGHOUT CONSTRUCTION. THIS INCLUDES TREES NOT NOTED FOR REMOVAL. DAMAGE TO THESE ITEMS SHALL BE CORRECTED IN KIND AT NO ADDITIONAL COST TO THE OWNER.
- ALL MATERIALS NOTED FOR REMOVAL TO BE DISPOSED OF OFF SITE AND IN A LEGAL MANNER.
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- ALL DISTURBED AREAS NOT NOTED FOR IMPROVEMENTS SHALL BE SEEDED AND STRAWED.

**GENERAL DEMOLITION NOTES:**

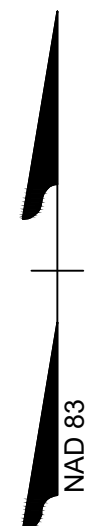
- INSTALL EROSION CONTROL DEVICES PRIOR TO BEGINNING ANY DEMOLITION OR CONSTRUCTION.
- MAINTAIN EROSION CONTROL DEVICES UNTIL CONSTRUCTION IS COMPLETE AND SITE IS STABILIZED.

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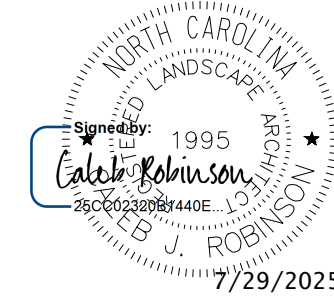
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**SOUTH WAKE LANDFILL- ENTRANCE IMPROVEMENTS**

**TOWN OF APEX**  
**ENTRANCE - EROSION CONTROL & DEMOLITION PLAN**

REVISION DESCRIPTION  
ADDENDUM #3

DATE  
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4/10/2025

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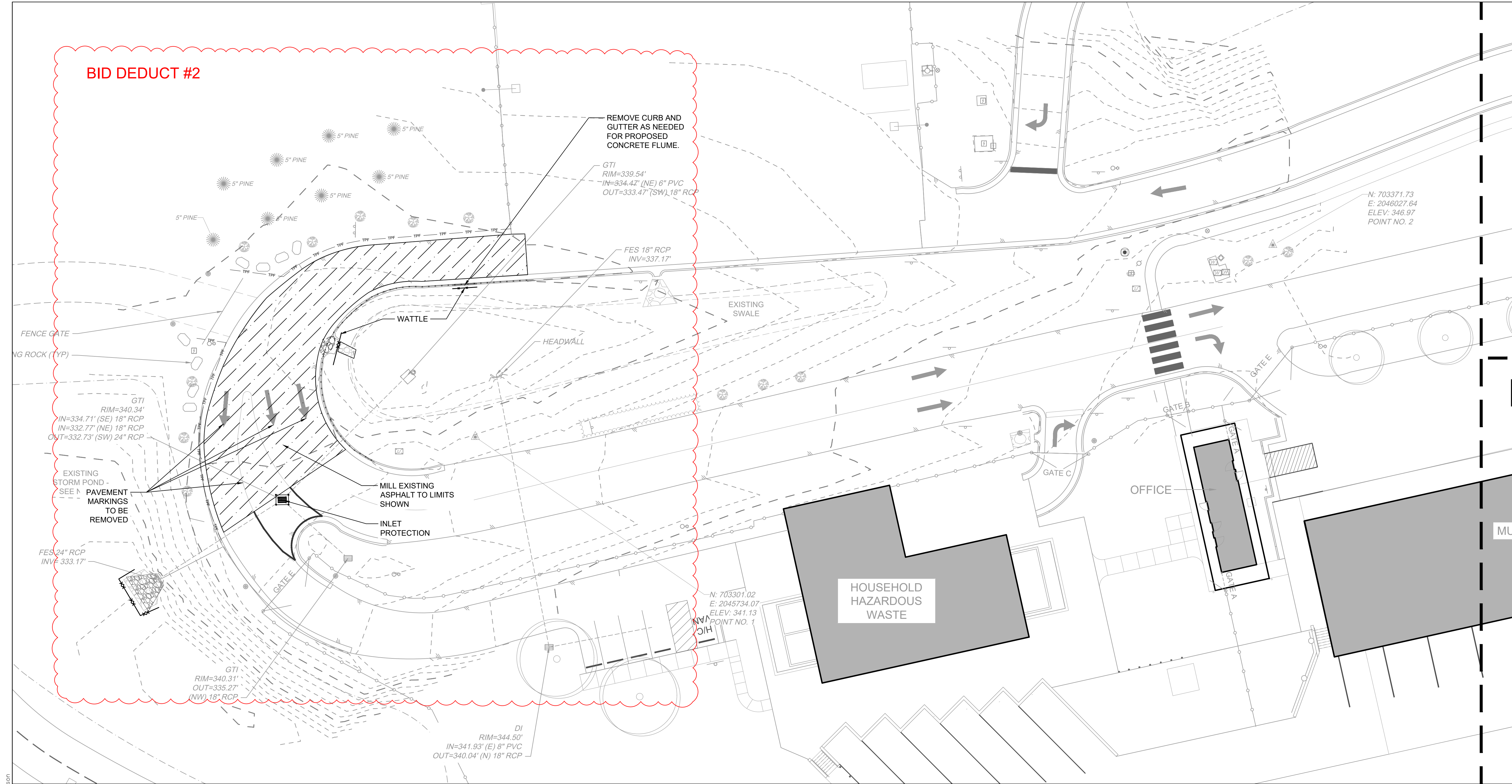
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Gas Meter  
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Monitoring Well  
Guy  
Tree  
Utility Vault  
Traffic Signal Box  
Traffic Signal Pole

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Sanitary Sewer Line  
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Painted Power Line  
Storm Line  
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Painted Fiber Optic Line  
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LIMITS OF DISTURBANCE  
WATTLE

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GENERAL DEMOLITION NOTES:

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- MAINTAIN EROSION CONTROL DEVICES UNTIL CONSTRUCTION IS COMPLETE AND SITE IS STABILIZED.

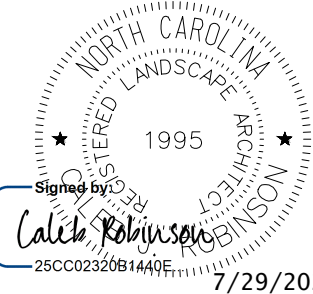
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SOUTH WAKE LANDFILL- ENTRANCE IMPROVEMENTS  
TOWN OF APEX  
WEST - EROSION CONTROL & DEMOLITION PLAN

REVISION DESCRIPTION  
ADDENDUM #3

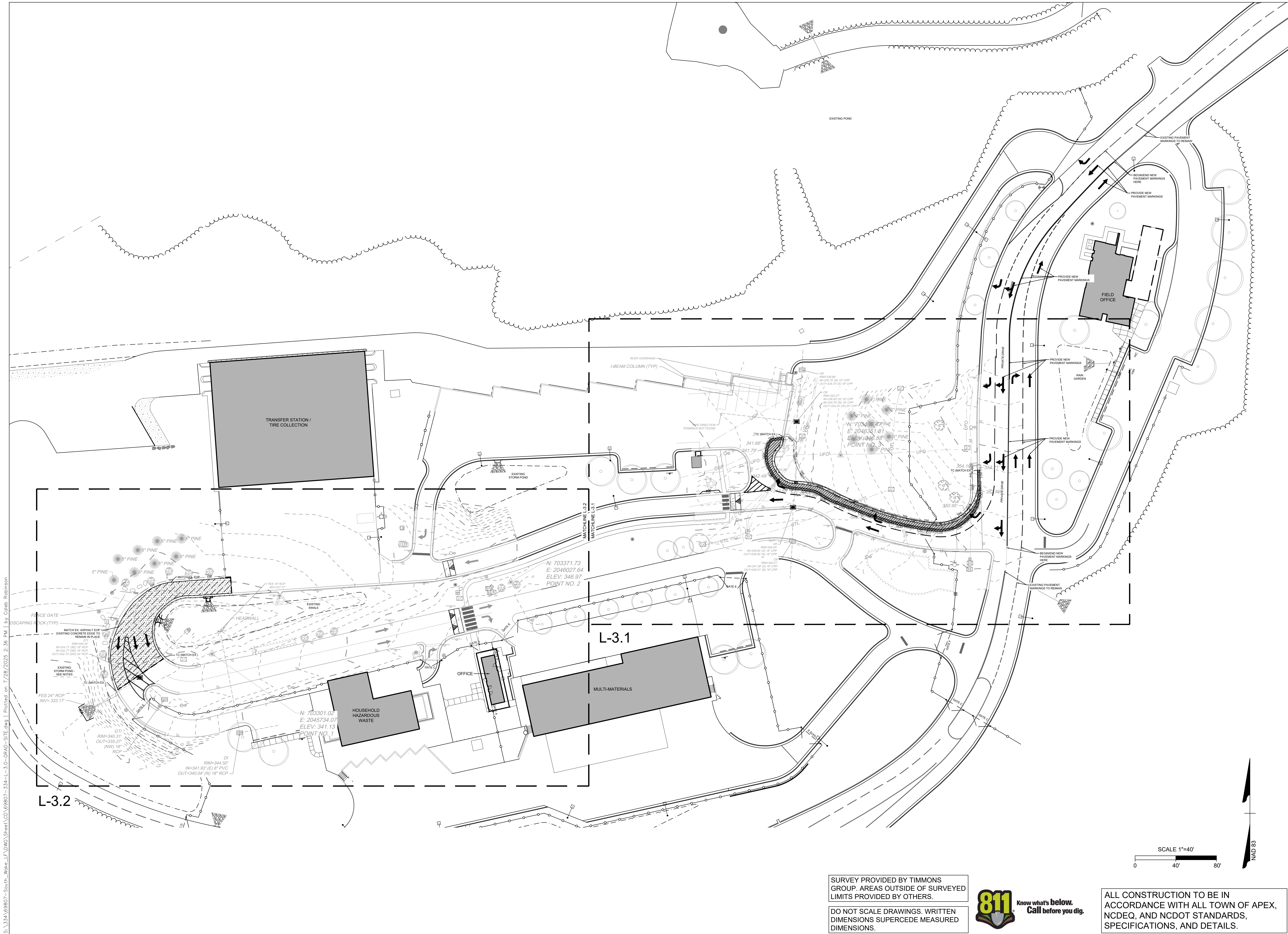
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07/29/2025  
4/10/2025  
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JM  
DESIGNED BY  
JM  
CHECKED BY  
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69807  
SHEET NO.  
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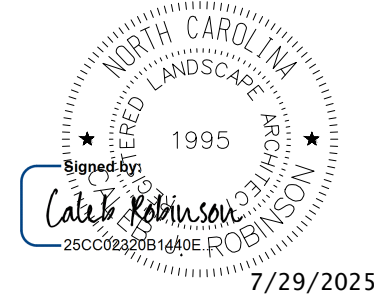
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**SOUTH WAKE LANDFILL- ENTRANCE IMPROVEMENTS**  
TOWN OF APEX  
**SITE OVERALL - GRADING & SITE PLAN**

DATE	REVISION DESCRIPTION
07/29/2025	ADDENDUM #3

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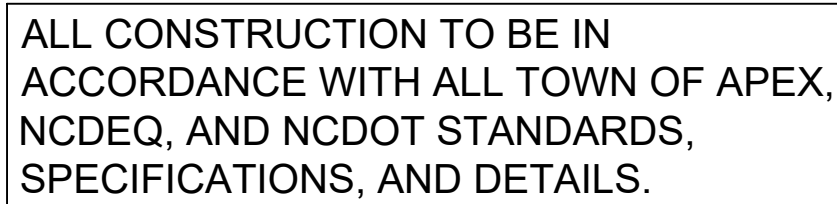
1. ANY DISCREPANCIES IN GRADES SHOULD BE BROUGHT TO THE LANDSCAPE ARCHITECT'S ATTENTION PRIOR TO CONSTRUCTION.
2. TREE PROTECTION FENCING MUST BE IN PLACE PRIOR TO ANY CLEARING, DEMOLITION, AND DISTURBANCE OR ISSUANCE OF A GRADING PERMIT.
3. EROSION CONTROL MEASURES TO BE INSTALLED PRIOR TO GRUBBING AND GRADING OPERATIONS AND SHALL BE MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
4. TOPSOIL TO BE STRIPPED AND STOCKPILED ON SITE.
5. CONTRACTOR TO INSURE POSITIVE DRAINAGE.
6. EXPOSED GROUND SURFACE TO BE STABILIZED AND SEEDED PER DRAWINGS & SPECIFICATIONS.
7. ALL SLOPES TO BE CONSISTENT AND UNIFORM.
8. CUT / FILL SLOPES NOT TO EXCEED 3:1 RATIO.
9. SPOT ELEVATIONS REFERENCE FINAL SURFACE ELEVATIONS.
10. REPAIR OR REPLACE ANY ITEMS DAMAGED DUE TO CONSTRUCTION (ONSITE AND/OR OFFSITE) AT NO EXPENSE TO THE OWNER.
11. UPON COMPLETION OF ALL SITE WORK, CONTRACTOR SHALL BREAK UP ANY RESULTING COMPACTION IN THE SOIL WITH AN AIR SPADE OR SIMILAR LOW-IMPACT METHOD OR TOOL. ALL DISTURBED AREAS NOT NOTED FOR IMPROVEMENTS SHALL BE SEEDED AND MULCHED.

1. ANY DISCREPANCIES IN LAYOUT SHOULD BE BROUGHT TO THE LANDSCAPE ARCHITECT'S ATTENTION PRIOR TO CONSTRUCTION.
2. ALL WRITTEN WORK TO BE DONE BY A LICENSED SURVEYOR REGISTERED IN THE STATE OF NORTH CAROLINA.
3. STATE DIMENSIONS SUPERCEDE SCALED DIMENSION. DO NOT SCALE DRAWINGS. ALL DIMENSIONS TO BACK OF CURB UNLESS OTHERWISE NOTED.
4. CONTRACTOR TO ENSURE DEMOLISHED PAVEMENT ADJACENT TO PAVEMENT AND CURBS TO REMAIN IS CLEANLY AND PROPERLY SARGOL.
5. CONTRACTOR TO COORDINATE WITH UTILITY SUPPLIERS TO ADJUST ANY EXISTING UTILITY ELEVATIONS TO ENSURE A FLUSH CONDITION WITH NEW WORK.

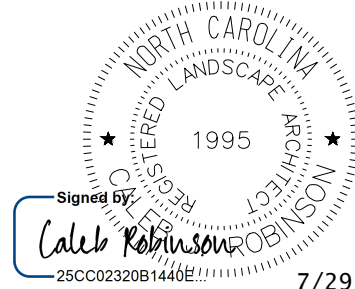
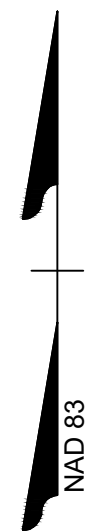
1. ALL DISTURBED AREAS TO BE SEEDED AND STRAWED PER SPECIFICATIONS WITH PERMANENT GRASS COVER AS APPROVED BY LANDSCAPE ARCHITECT.

THIS PROJECT MEETS LOW DENSITY DEVELOPMENT THRESHOLDS AND IS EXEMPT FROM PROVIDING ANY ADDITIONAL STRUCTURAL STORMWATER CONTROL MEASURES.

DO NOT SCALE DRAWINGS. WRITTEN  
DIMENSIONS SUPERCEDE MEASURED  
DIMENSIONS.



ALL CONSTRUCTION TO BE IN  
ACCORDANCE WITH ALL TOWN OF APEX,  
NCDEQ, AND NCDOT STANDARDS,  
SPECIFICATIONS, AND DETAILS.



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TOWN OF APEX

---

**SOUTH WAKE LANDFILL- ENTRANCE IMPROVEMENTS**

---

**ENTRANCE - GRADING & SITE PLAN**

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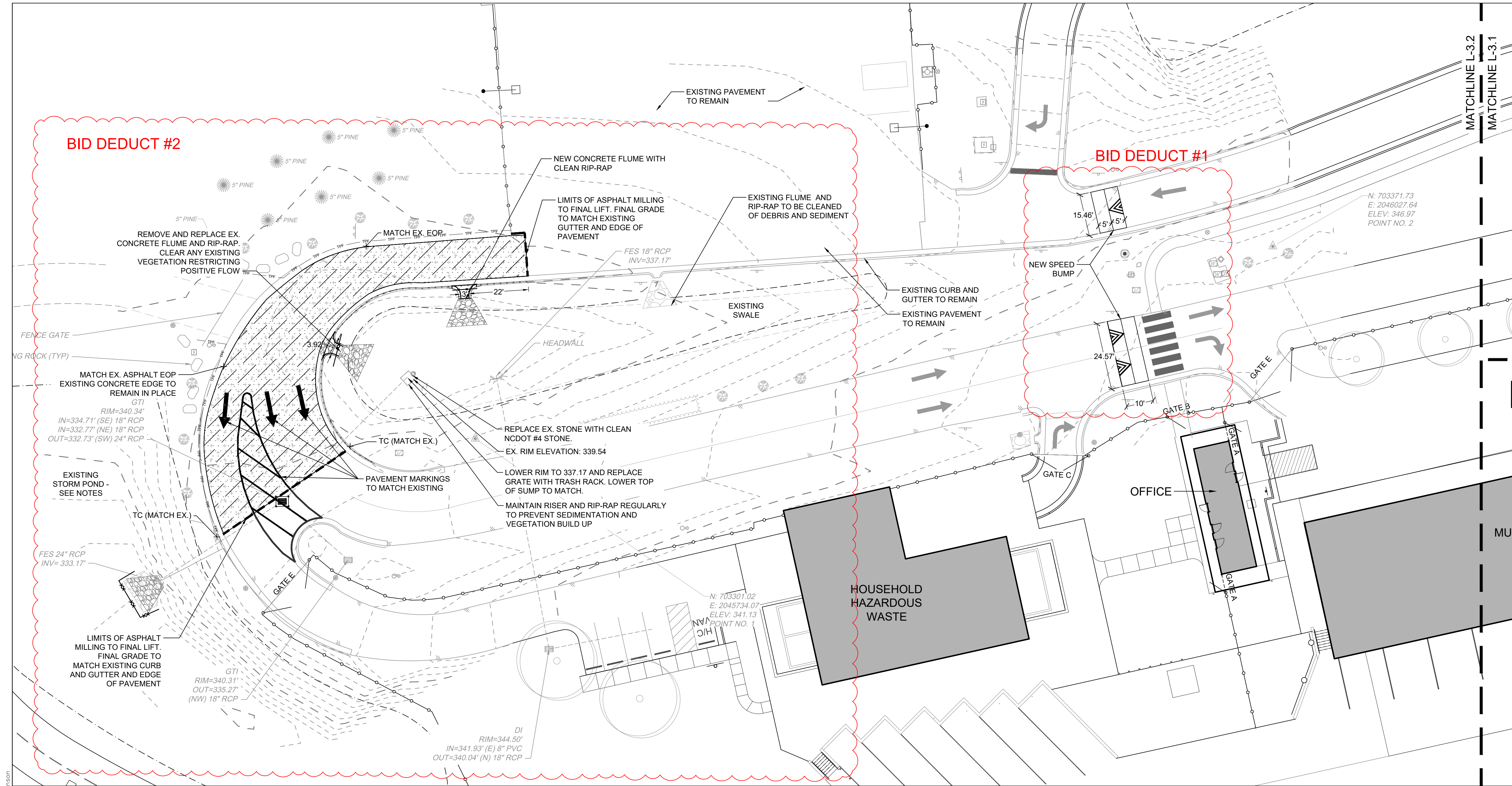
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L-3.1

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GENERAL GRADING & DRAINAGE NOTES:

1. ANY DISCREPANCIES IN GRADES SHOULD BE BROUGHT TO THE LANDSCAPE ARCHITECT'S ATTENTION PRIOR TO CONSTRUCTION.
2. TREE PROTECTION FENCING MUST BE IN PLACE PRIOR TO ANY CLEARING, DEMOLITION, AND DISTURBANCE OR ISSUANCE OF A GRADING PERMIT.
3. EROSION CONTROL MEASURES TO BE INSTALLED PRIOR TO GRUBBING AND GRADING OPERATIONS AND SHALL BE MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
4. TOPSOIL TO BE STRIPPED AND STOCKPILED ON SITE.
5. CONTRACTOR TO INSURE POSITIVE DRAINAGE.
6. EXPOSED GROUND SURFACE TO BE STABILIZED AND SEEDED PER DRAWINGS & SPECIFICATIONS.
7. ALL SLOPES TO BE CONSISTENT AND UNIFORM.
8. CUT / FILL SLOPES NOT TO EXCEED 3:1 RATIO.
9. SPOT ELEVATIONS REFERENCE FINAL SURFACE ELEVATIONS.
10. REPAIR OR REPLACE ANY ITEMS DAMAGED DUE TO CONSTRUCTION (ONSITE AND/OR OFFSITE) AT NO EXPENSE TO THE OWNER.
11. UPON COMPLETION OF ALL SITE WORK, CONTRACTOR SHALL BREAK UP ANY RESULTING COMPACTION IN THE SOIL WITH AN AIR SPADE OR SIMILAR LOW-IMPACT METHOD OR TOOL. ALL DISTURBED AREAS NOT NOTED FOR IMPROVEMENTS SHALL BE SEEDED AND MULCHED.

GENERAL LAYOUT NOTES:

1. ANY DISCREPANCIES IN LAYOUT SHOULD BE BROUGHT TO THE LANDSCAPE ARCHITECT'S ATTENTION PRIOR TO CONSTRUCTION.
2. ALL STAKING WORK TO BE DONE BY A LICENSED SURVEYOR REGISTERED IN THE STATE OF NORTH CAROLINA.
3. WRITTEN DIMENSIONS SUPERCEDE SCALED DIMENSION. DO NOT SCALE DRAWINGS. ALL DIMENSIONS TO BACK OF CURB UNLESS OTHERWISE NOTED.
4. CONTRACTOR TO ENSURE DEMOLISHED PAVEMENT ADJACENT TO PAVEMENT AND CURBS TO REMAIN IS CLEANLY AND CORRECTLY SAW CUT.
5. CONTRACTOR TO COORDINATE WITH UTILITY SUPPLIERS TO ADJUST ANY EXISTING UTILITY ELEVATIONS TO ENSURE A FLUSH CONDITION WITH NEW WORK.

SEEDING NOTES:

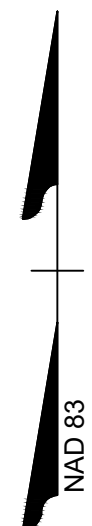
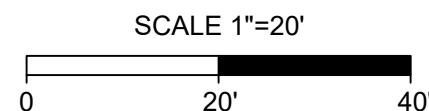
1. ALL DISTURBED AREAS TO BE SEEDED AND STRAWED PER SPECIFICATIONS WITH PERMANENT GRASS COVER AS APPROVED BY LANDSCAPE ARCHITECT.

EXISTING STORM POND NOTES:

1. CONTRACTOR MUST MINIMIZE SEDIMENT DISCHARGE INTO EXISTING STORMWATER MANAGEMENT POND.
2. AT COMPLETION OF CONSTRUCTION, CONTRACTOR MAY REMOVE EROSION CONTROL DEVICES.
3. AFTER SITE IS FULLY STABILIZED, CONTRACTOR SHALL REMOVE ALL SEDIMENT THAT COLLECTED IN THE STORMWATER MANAGEMENT POND.

SURVEY PROVIDED BY TIMMONS GROUP. AREAS OUTSIDE OF SURVEYED LIMITS PROVIDED BY OTHERS.

DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SUPERCEDE MEASURED DIMENSIONS.



ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF APEX, NCDEQ, AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.

**TIMMONS GROUP**

SOUTH WAKE LANDFILL- ENTRANCE IMPROVEMENTS

TOWN OF APEX

WEST - GRADING & SITE PLAN

JOB NO.  
69807

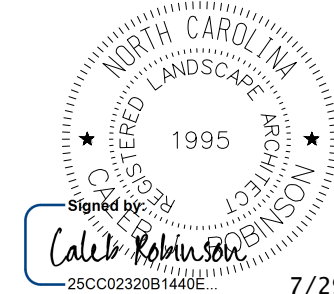
SHEET NO.  
L-3.2

YOUR VISION ACHIEVED THROUGH OURS.

DATE  
07/29/2025  
4/10/2025  
DRAWN BY  
JM  
DESIGNED BY  
JM  
CHECKED BY  
CR  
SCALE  
AS SHOWN

REVISION DESCRIPTION  
ADDENDUM #3

THIS DRAWING PREPARED AT THE  
**RALEIGH OFFICE**  
5410 Trinity Road, Suite 102 | Raleigh, NC 27607  
TEL 919.866-4951 FAX 919.833.8124 www.timmons.com





**UNTRENCHED INSTALLATION**

**ENTRENCH**  
THIS APPLICATION  
COMPOST SOCK

**NOTES:**

1. Other materials providing equivalent protection against erosive velocities may be used in place of socks or wattles.
2. Fill silt sock/wattle netting uniformly with compost to the desired length such that the material will be held in place by the weight of the material.
3. Silt sock/wattle(s) should be installed parallel to and at a minimum of 10ft beyond the edge of the area to be protected.
4. Silt sock/wattle(s) located below flat areas should be located at the edge of the last flat area. Silt sock/wattle(s) should be turned slightly upslope to prevent runoff from going over the top of the sock/wattle. Stakes should be placed at a maximum interval of 4ft.
5. Oak or other durable hardwood stakes in a 2 in x 2 in cross-section should be placed at the center of the silt sock/wattle. Stakes should be placed at a maximum interval of 4ft.
6. In the event staking is not possible (i.e., when socks/wattles are used on paved areas), the silt sock/wattle is placed in a 4in trench.

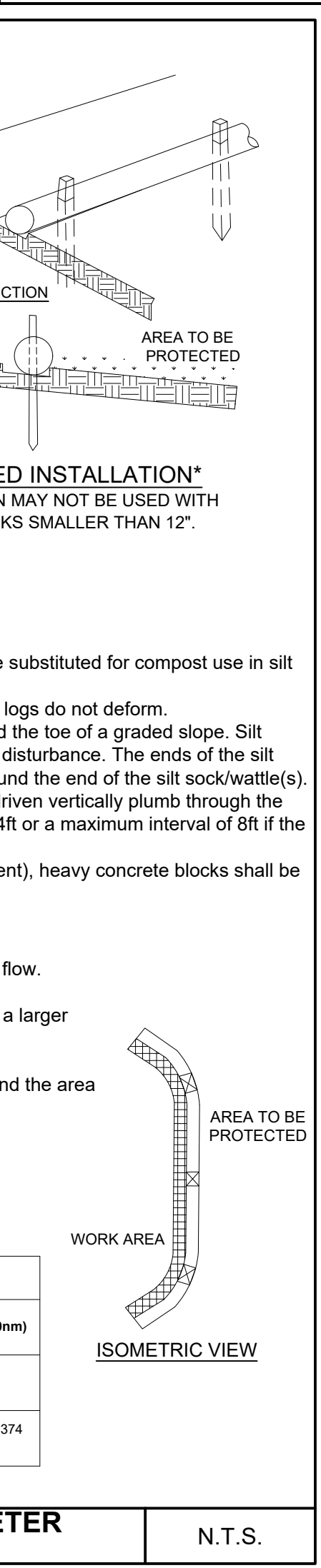
**MAINTENANCE:**

1. Inspect all measures at least weekly and after each rainfall of 1.0in or greater.
2. Remove accumulated sediment and any debris as needed to allow for adequate flow.
3. Silt sock/wattle must be replaced if clogged or torn.
4. If ponding becomes excessive, the silt sock/wattle may need to be replaced with a different diameter or a different measure.
5. Reinstall if damaged or dislodged.
6. Silt sock/wattles shall be inspected as noted until land disturbance is completely stabilized.

COMPOST SOCK INITIAL FLOW RATES					
Compost Sock Design Diameter	8 Inch (200mm)	12 Inch (300mm)	18 Inch (450mm)	24 Inch (600mm)	32 Inch (800mm)
Maximum Slope Length (<2%)	600 Feet (183m)	750 Feet (229m)	1,000 Feet (305m)	1,300 Feet (396m)	1,650 Feet (503m)
Hydraulic Flow Through Rate	7.5 gpm/ft (94 l/min)	11.3 gpm/ft (141 l/min)	15.0 gpm/ft (188 l/min)	22.5 gpm/ft (281 l/min)	30.0 gpm/ft (377 l/min)

**SILT SOCK / WATTLE FOR PERIMETER AND INLET PROTECTION**

3



**CROSS SECTION**

AREA TO BE PROTECTED

**INSTALLATION**

MAY NOT BE USED WITH  
BLOCKS SMALLER THAN 12".

logs do not deform.  
at the toe of a graded slope. Silt  
disturbance. The ends of the silt  
and the end of the silt sock/wattle(s).  
driven vertically plumb through the  
silt or a maximum interval of 8ft if the  
(silt), heavy concrete blocks shall be

flow.

a larger

and the area

AREA TO BE PROTECTED

WORK AREA

**ISOMETRIC VIEW**

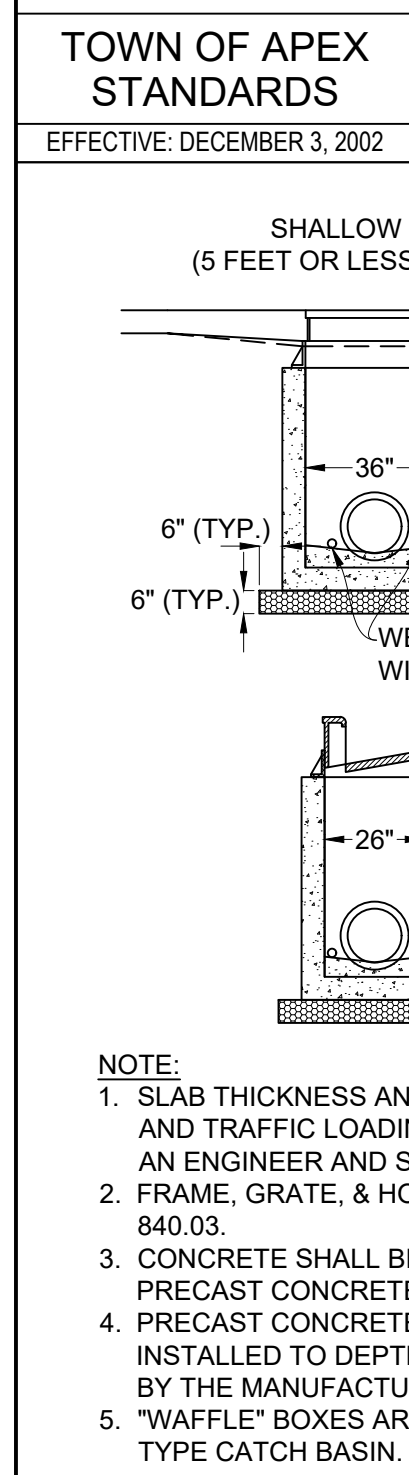
374

**TOWN OF APEX  
STANDARDS**

EFFECTIVE: DECEMBER 3, 2002

**FRAME DETAIL**

**SHALLOW TYPE  
(5 FEET OR LESS IN DEPTH)**



STANDARD STEPS  
16" ON CENTER  
(TYP.)

36"

6" (TYP.)

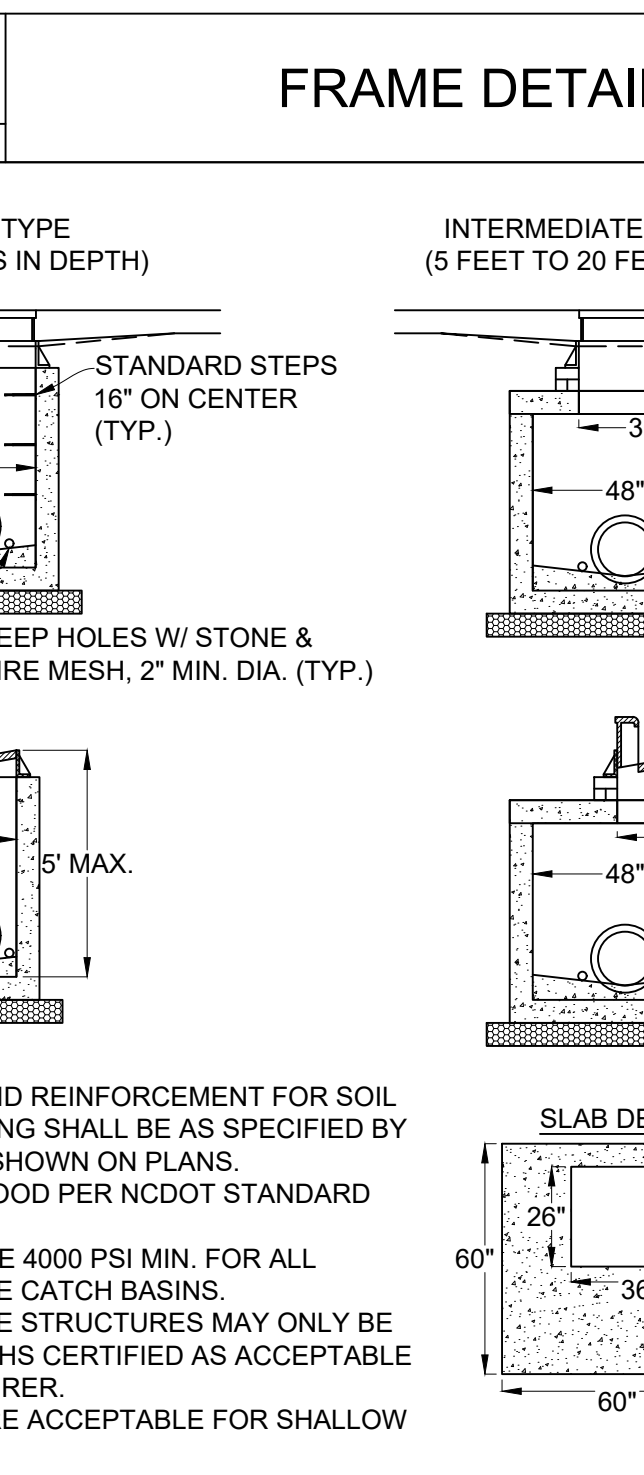
6" (TYP.)

WEEP HOLES W/ STONE &  
WIRE MESH, 2" MIN. DIA. (TYP.)

26"

5' MAX.

**INTERMEDIATE  
(5 FEET TO 20 FEET)**



36"

48"

48"

60"

36"

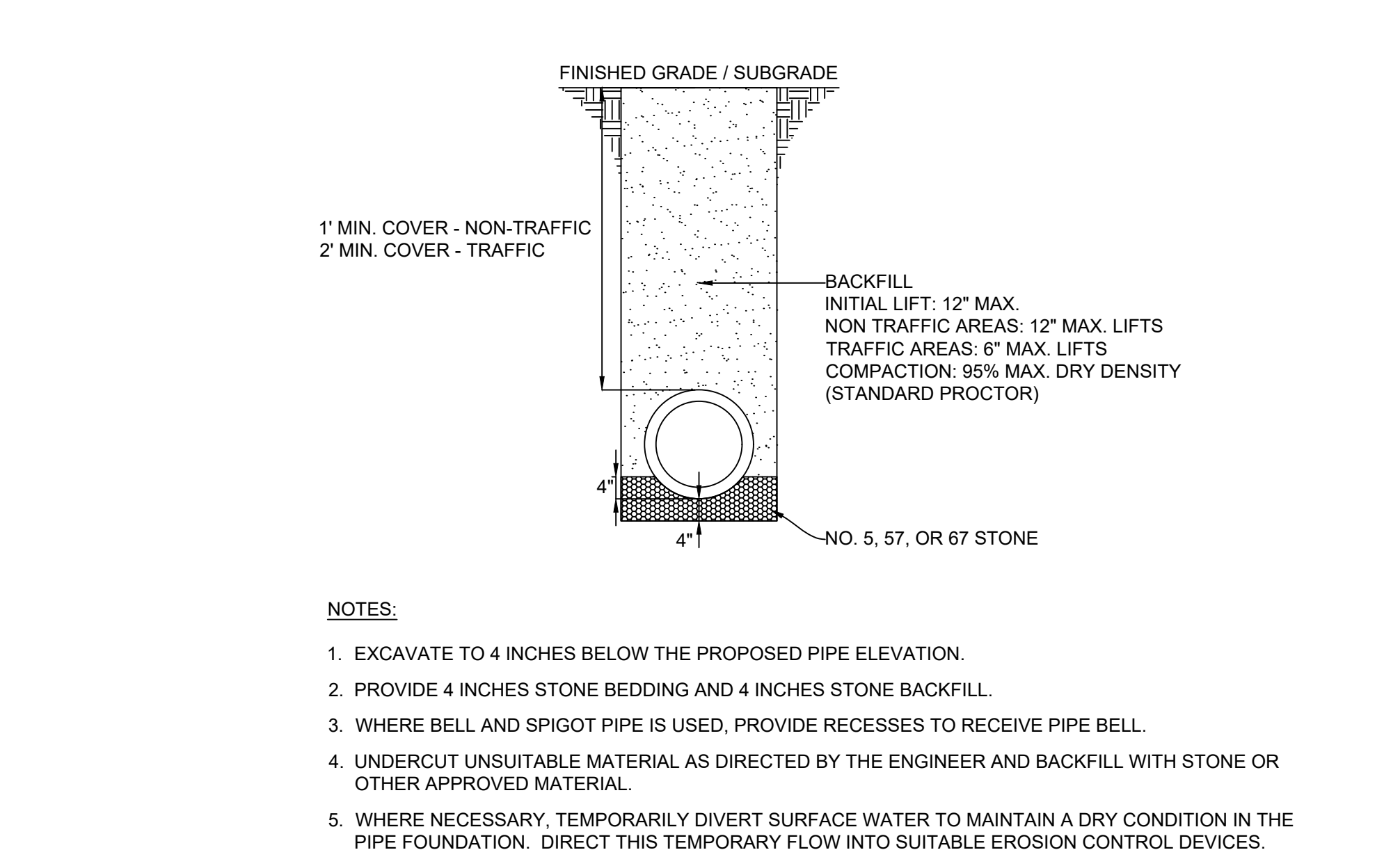
60"

**SLAB DETAIL**

**TOWN OF APEX  
STANDARDS**

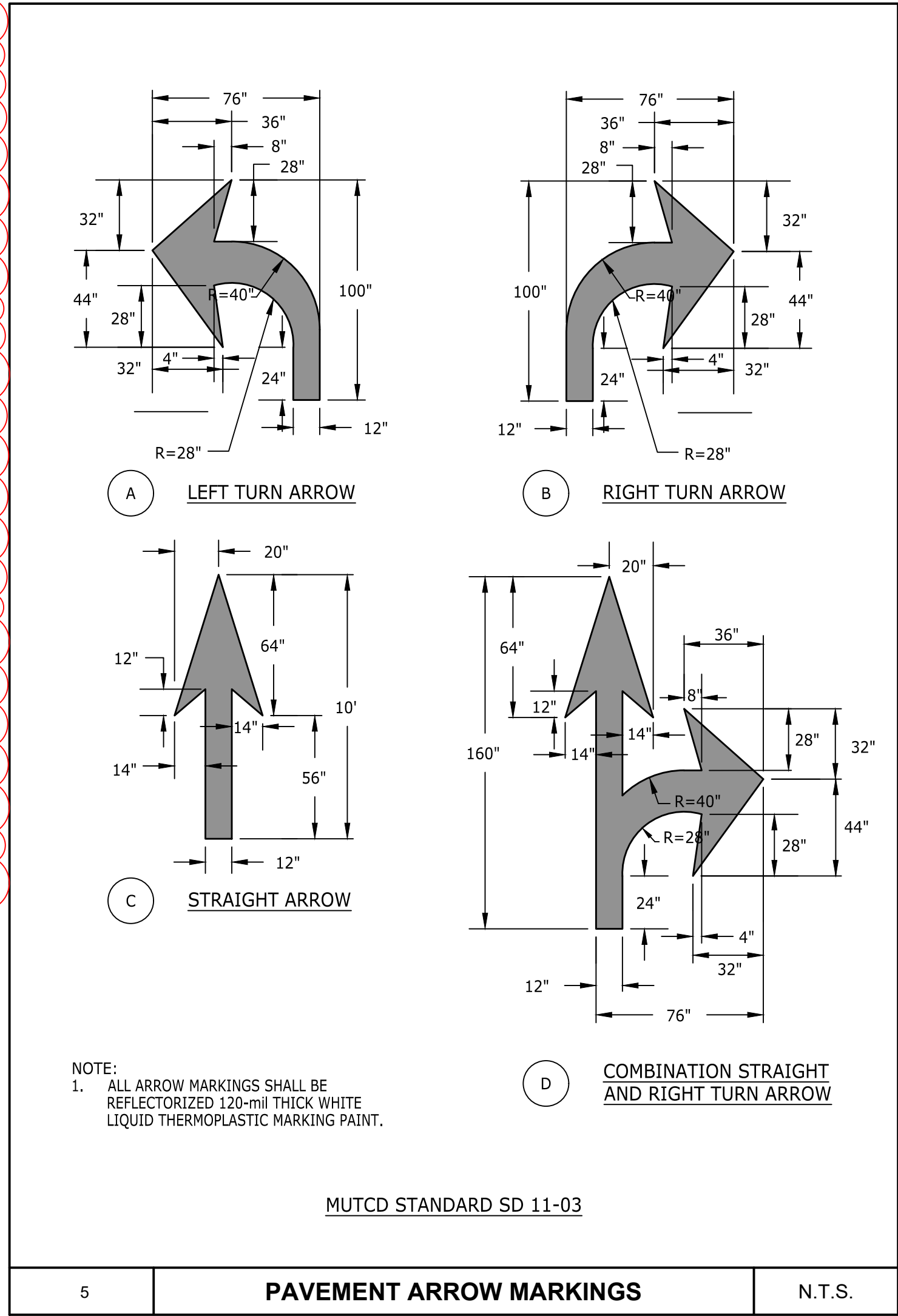
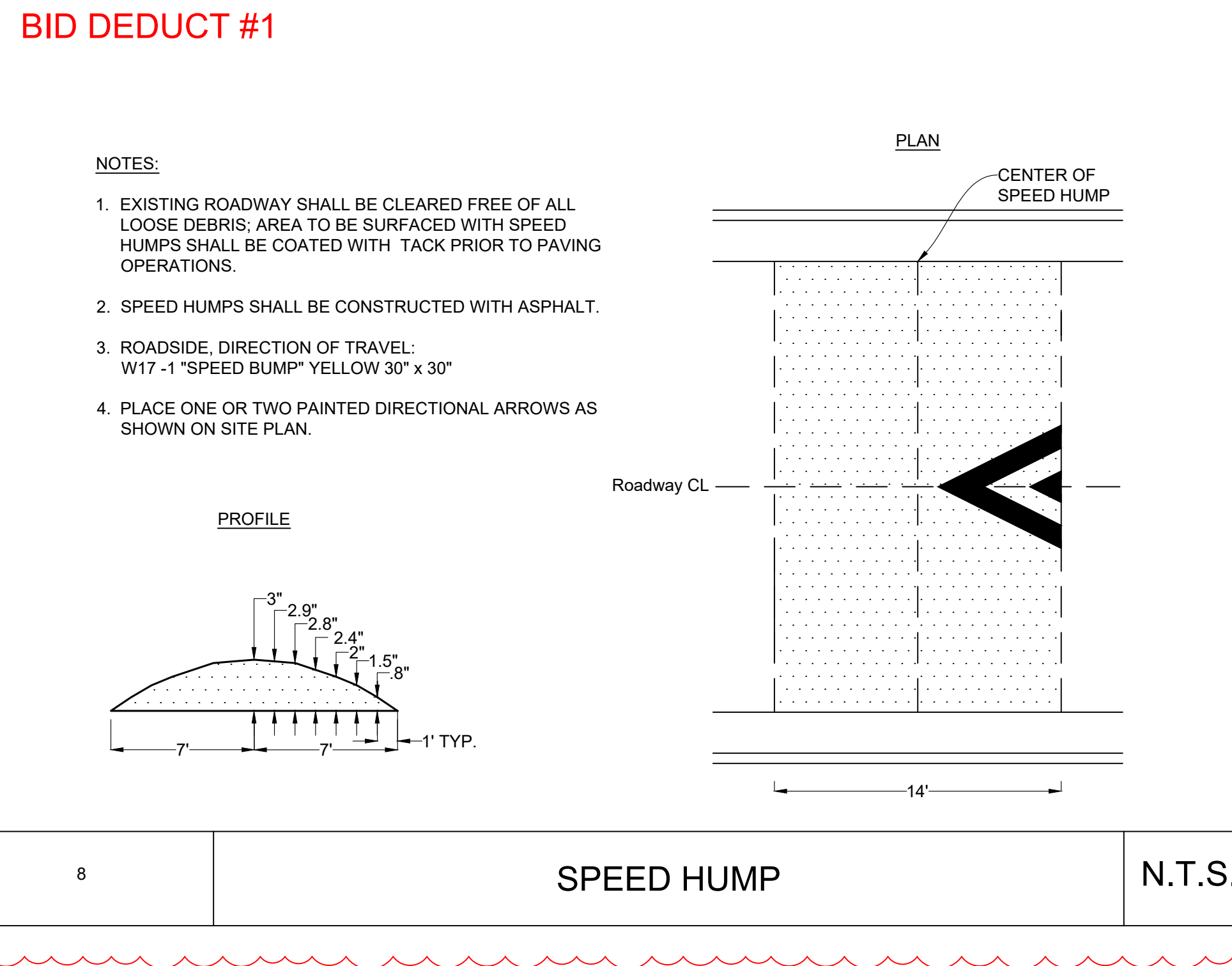
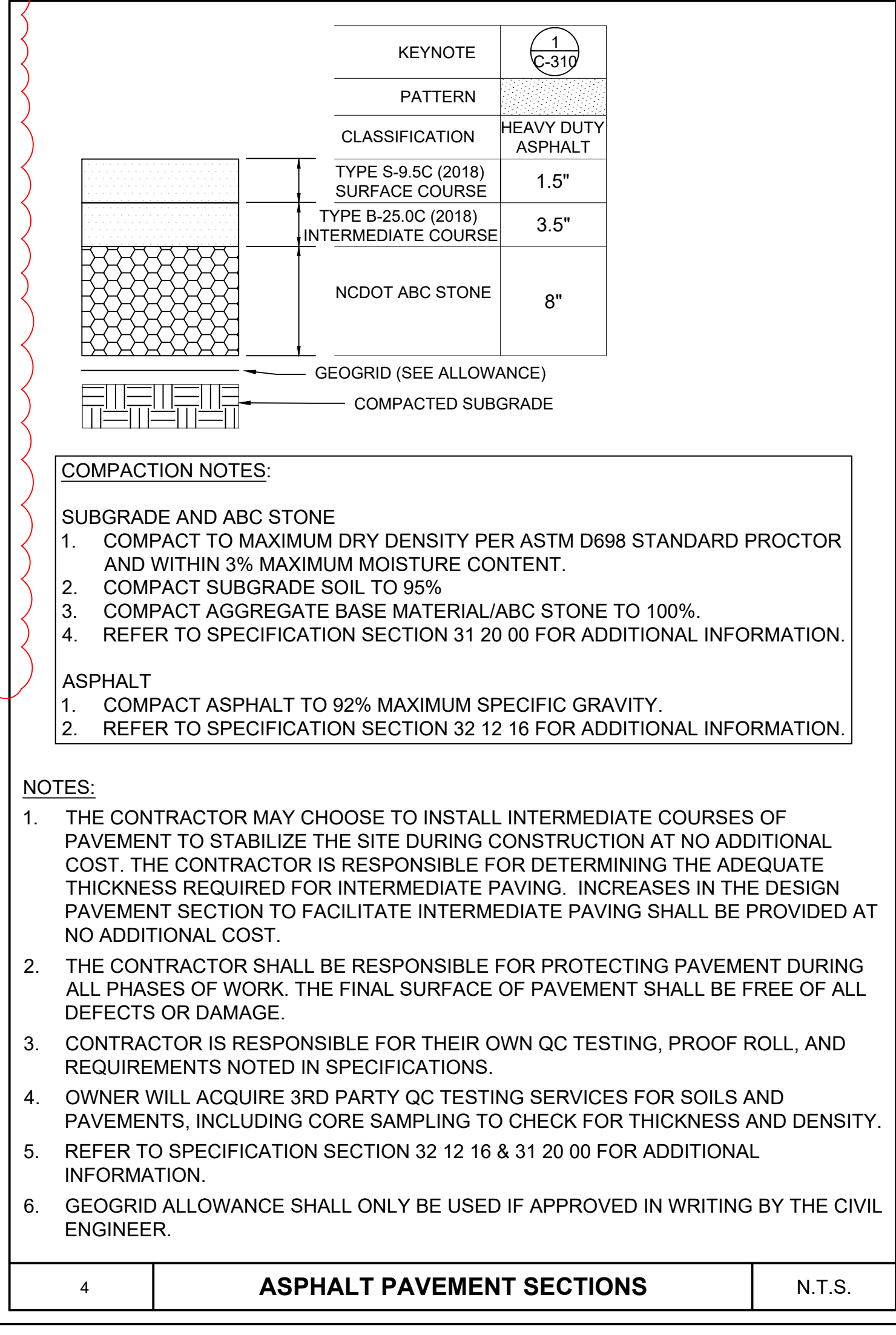
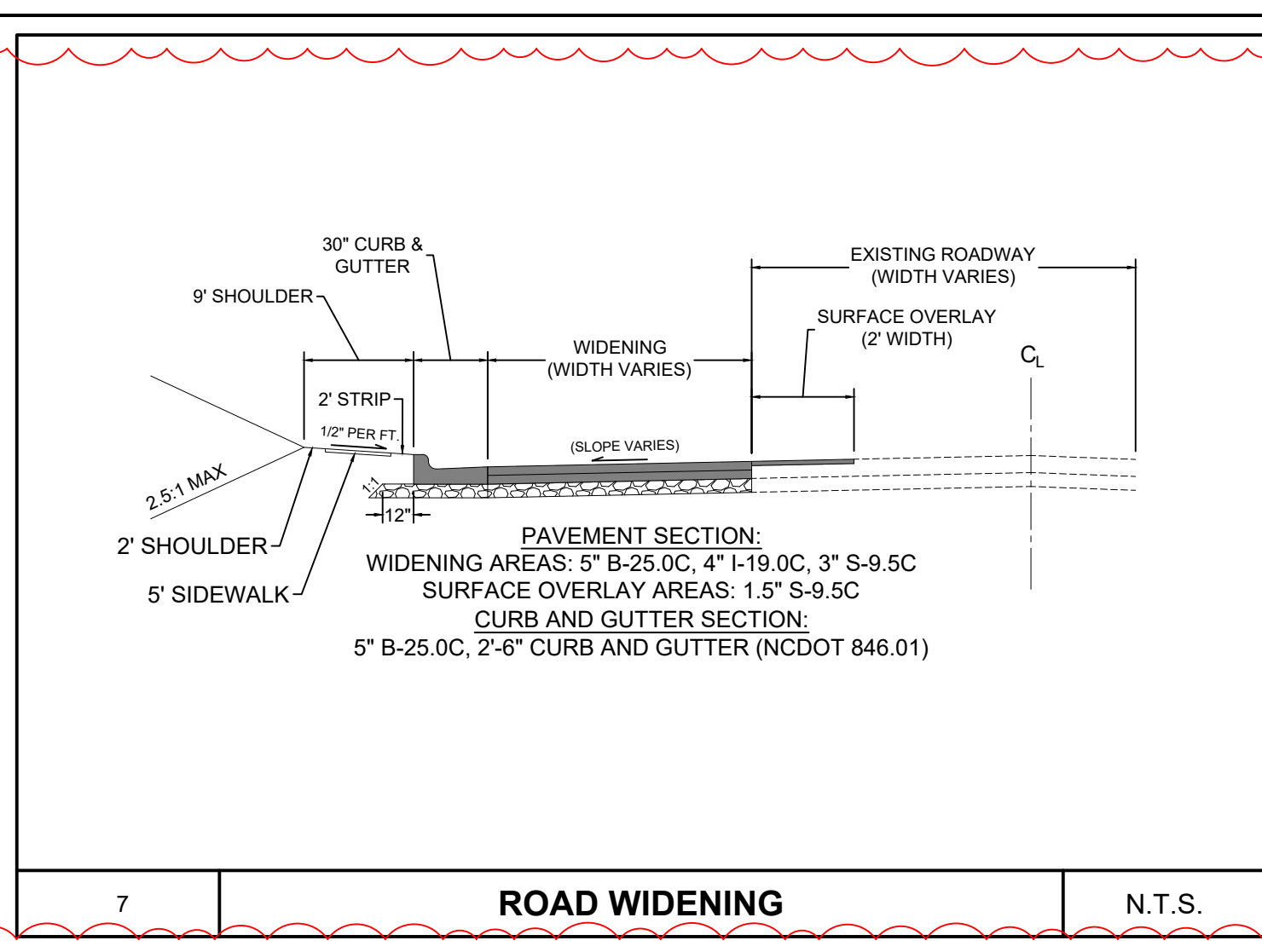
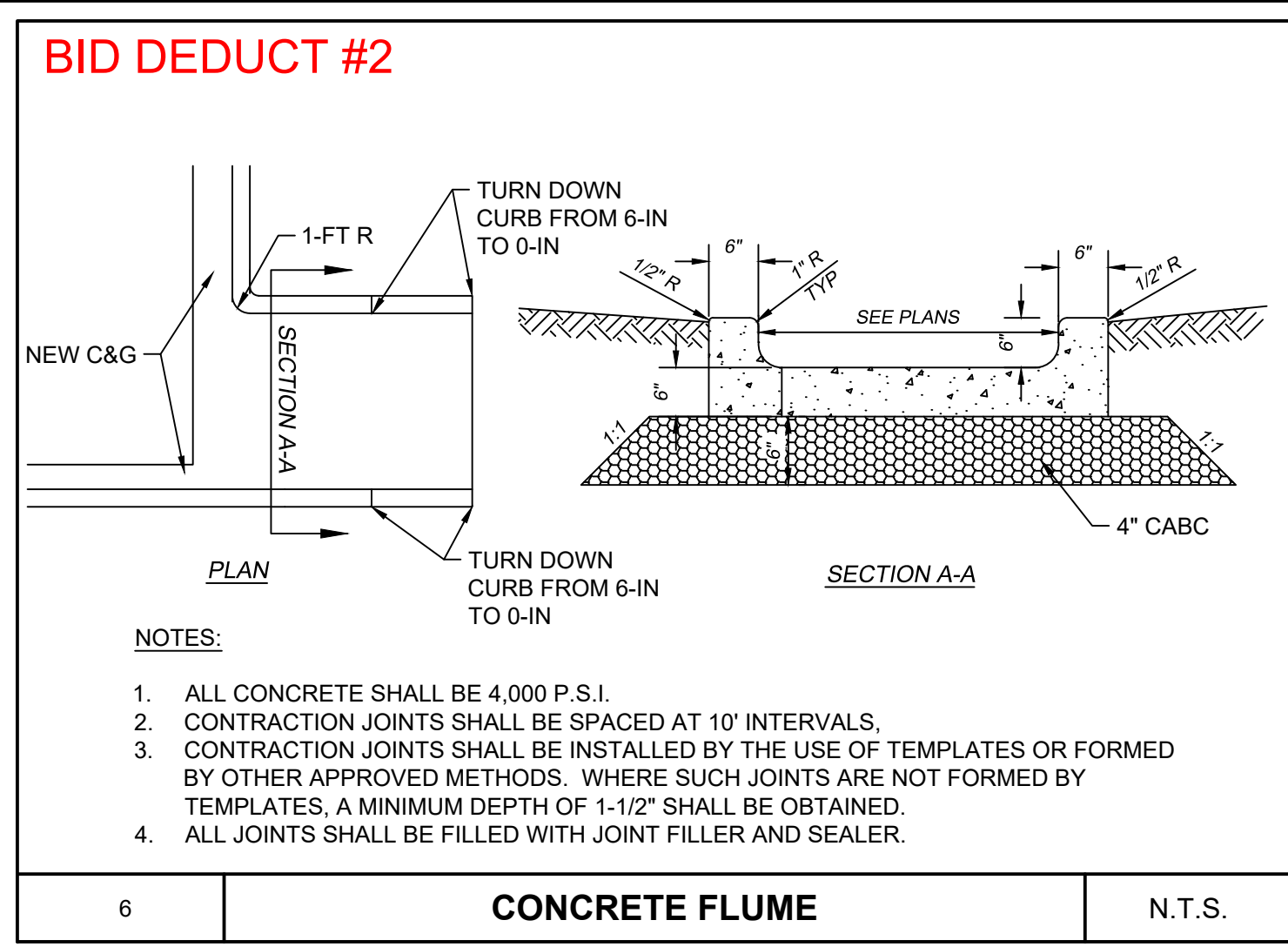
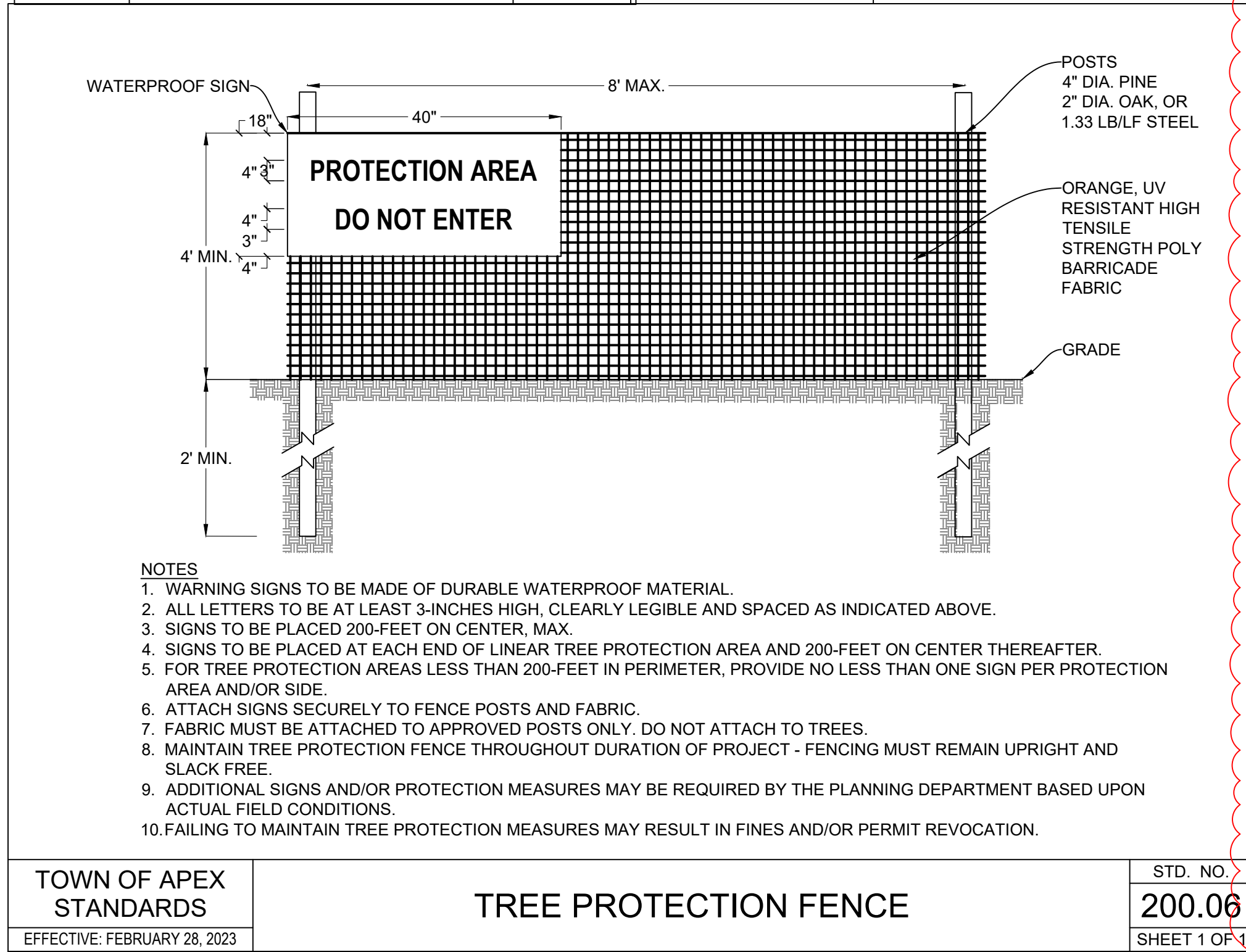
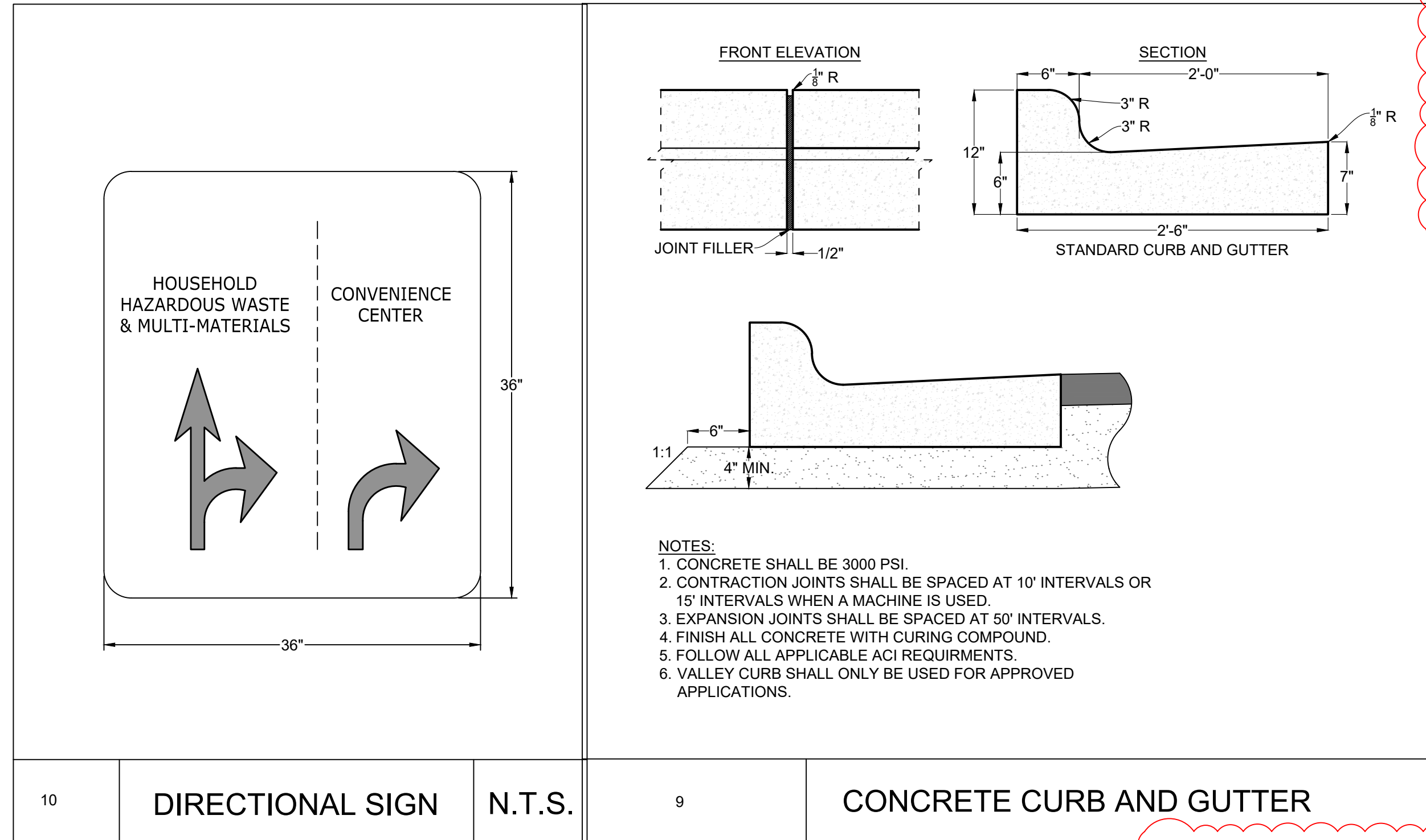
EFFECTIVE: DECEMBER 18, 2012

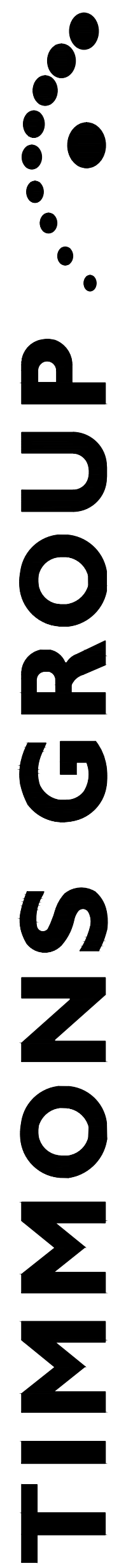
**PRECAST CA**





S:\334\69807-South-Wake-LF\DWG\Sheet\CD\69807-334-L-4-0-DETAILS.dwg | Plotted on: 7/28/2025 2:37 PM | by Caleb Robinson





**TIMMONS GROUP**

**SOUTH WAKE LANDFILL- ENTRANCE IMPROVEMENTS**

TOWN OF APEX

**SITE DETAILS**

THIS DRAWING PREPARED AT THE  
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YOUR VISION ACHIEVED THROUGH OURS.

DATE: 07/29/2025

DATE: 4/10/2025

DRAWN BY: JM

DESIGNED BY: JM

CHECKED BY: CR

SCALE: AS SHOWN

JOB NO. 69807

SHEET NO. L-4.0

1995

7/29/2025